

Administrative Alternates



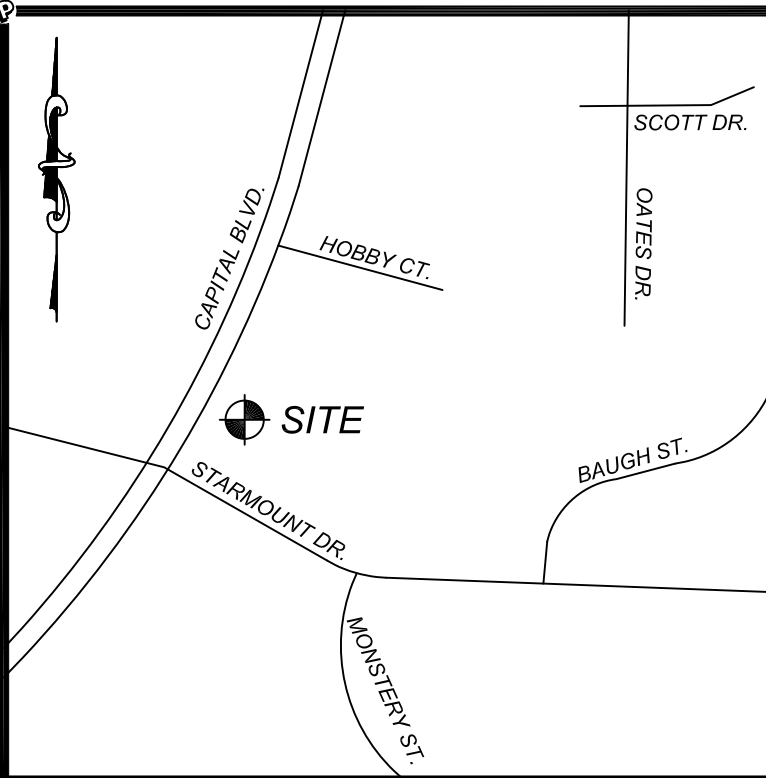
**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831

Administrative Alternate Request: <i>Requested in accordance with UDO Section 10.2.17</i>	OFFICE USE ONLY
Section(s) of UDO affected: The minimum 20% transparency requirements are not being met, as per Sec 3.2.5.F. and Sec 1.5.9 Provide an explanation of the alternate requested, along with an applicant's statement of the findings See attached explanation for alternate request on drawing A6 (lower right hand corner of drawing). Provide all associated case plan numbers including zoning and site plan: Transaction #500131	Transaction Number

Property Address 3318 Capital Boulevard		Date 4/28/17
Property PIN 1725255371	Current Zoning IX-3-PL	
Nearest Intersection Starmount Drive	Property size (in acres) 0.54	
Property Owner Wil-Dor, Inc Mr. Chuck Bright	Phone (919) 365-0381	Mail 7408 Siemens Road Wendell, NC 27591
	Email wildor.chuck@gmail.com	
Project Contact Person Jose Santos, AIA - Architrave Group PC	Phone (732) 212-0007	Mail 157 Broad St, Suite 107 Red Bank, NJ 07731
	Email jsantos@architravegroup.net	
Property Owner Signature 	Email wildor.chuck@gmail.com	
Notary Sworn and subscribed before me this <u>28</u> day of <u>April</u> , 20 <u>17</u>	Notary Signature and Seal 	

X:\POP - Popeyes\1605 - Raleigh, NC @ Capital Blvd\CAD\POP1605-SP.dwg, 3/30/2017 8:31:43 AM, chris



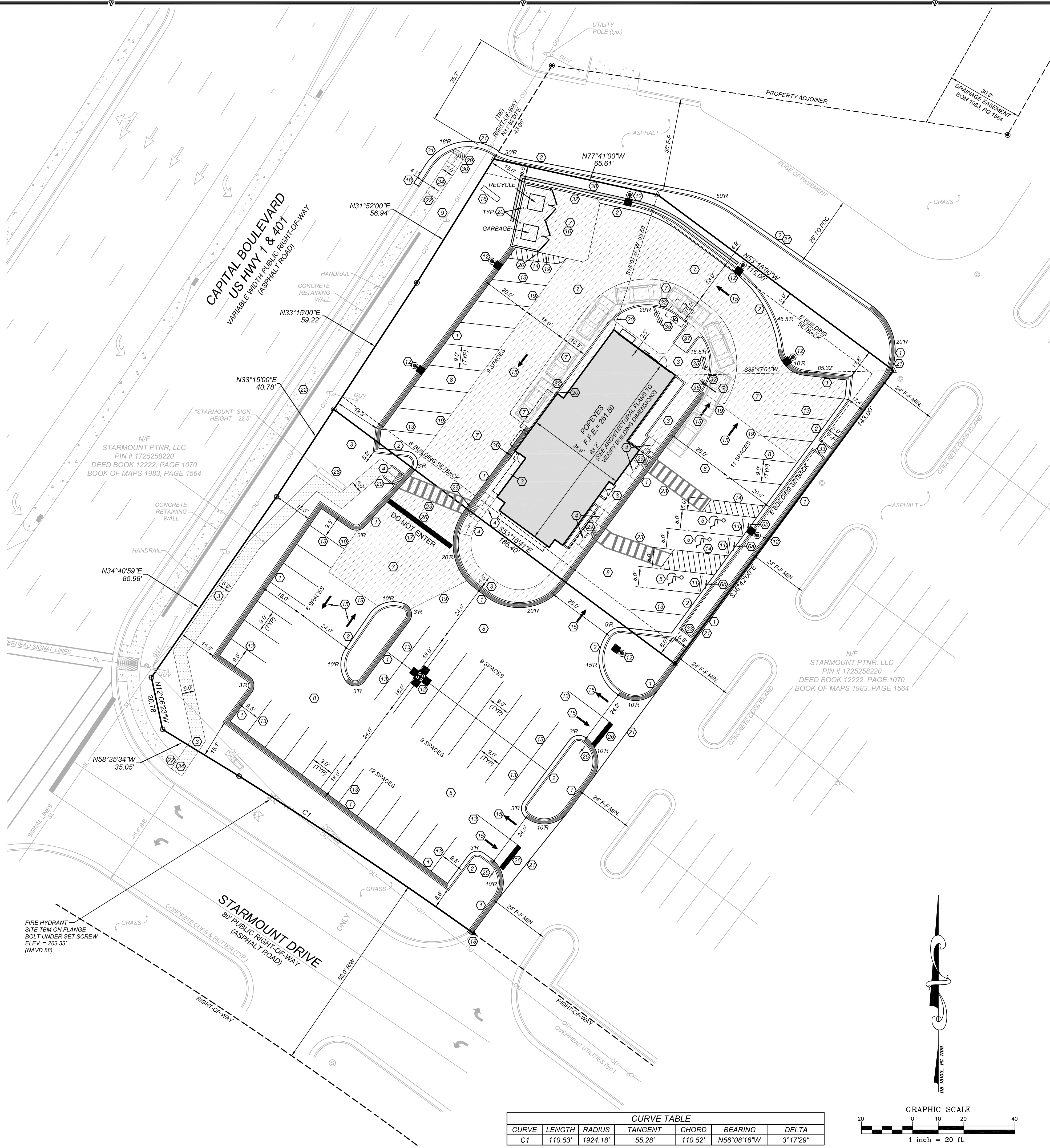
VICINITY MAP
NTS

SITE KEYNOTES:

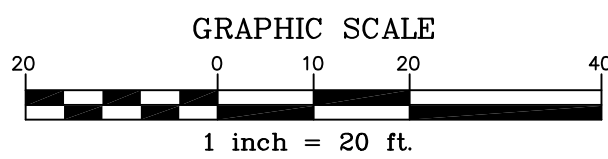
- CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- HANDICAP PARKING STALL
- INSTALL VAN-ACCESSIBLE HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL STANDARD HANDICAP PARKING SIGN PER DETAIL SHEET
- BLACK CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- PROPOSED POLE MOUNTED TRANSFORMER, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN
- PAINT "DO NOT ENTER"
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- RETAINING WALL TO BE DESIGNED BY STRUCTURAL ENGINEER, 42" HIGH PEDESTRIAN SAFETY RAIL, TO BE INSTALLED ATOP WALL WHERE EVER WALL HEIGHT EXCEEDS 30 INCHES PER BUILDING CODE.
- INSTALL "STOP" SIGN PER MUTCD STANDARDS
- PAINT 24" STOP BAR PER MUTCD STANDARDS
- CONSTRUCT ADA RAMPS WITH HANDRAILS, SEE DETAIL.
- EXISTING SIGN TO REMAIN.
- ADA TACTILE WARNING SURFACE
- NCDOT DIRECTIONAL WHEELCHAIR RAMP, SEE DETAIL.
- ALL CURB AND GUTTER INSIDE PUBLIC RIGHT-OF-WAY SHALL BE 30" WIDE AND COMPLY WITH DOT AND CITY STANDARDS AND SPECIFICATIONS.
- 6" CONCRETE HEADER CURB
- CONCRETE FLUME, SEE DETAIL.
- CONSTRUCT SIDEWALK INSIDE PUBLIC RIGHT-OF-WAY PER CITY STANDARDS AND SPECIFICATIONS.
- INSTALL CLEARANCE POST, MENU BOARD, SPEAKER POSTS, CANOPY AND PREVIEW BOARD PER ARCHITECTS PLANS.
- HANDRAIL PER POPEYES STANDARDS
- DELIVERY RAMP
- RETAINING WALL TO BE DESIGNED BY STRUCTURAL ENGINEER, PEDESTRIAN GUARDRAIL REQUIRED ATOP WALL WHERE WALL HEIGHT EXCEEDS 30 INCHES.

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION



CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING
C1	110.53'	1924.18'	55.28'	110.52'	N56°08'16"W
					DELTA 3°17'29"



GENERAL NOTES:

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY:
COMMERCIAL SITE DESIGN, PLLC
8312 CREEDMOOR ROAD
RALEIGH, NC 27613
TEL: (919) 848-6121; FAX: (919) 848-3741
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK, MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
- FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- ALL RADII DIMENSIONS ARE TO FACE OF CURB.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDDED AND MULCHED WITHIN SEVEN (7) DAYS.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA 811 OR CALL 1-800-652-4048 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- ALL HANDRAILS, SAFETY RAILS, RAILINGS, ETC. TO BE DESIGNED BY OTHERS. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER PRIOR TO CONSTRUCTION.



COMMERCIAL
SITE DESIGN

8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613

(919) 848-6121, FAX: (919) 848-3741
WWW.CSITEDSIGN.COM

POPEYES

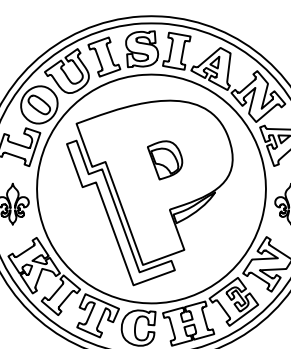
LOUISIANA KITCHEN
5005 GLENVIEW DRIVE, NE
SUITE 300
ATLANTA, GA 30342
404-454-4450

THESE DRAWINGS ARE THE
PROPERTY OF
POPEYES / AFC ENTERPRISES, INC.
AND SHALL NOT BE USED OR
REPRODUCED WITHOUT THE
EXPRESS WRITTEN PERMISSION
FROM THE OWNER.

CLIENT:
WIL DOR, INC.
7408 SIEMENS RD.
WENDELL, NC 27571

PROJECT:
POPEYES
3318 CAPITAL BOULEVARD
RALEIGH, NORTH CAROLINA

SITE PLAN



REVISIONS:

DATE	COMMENTS
03-20-17	CITY COMMENTS

PROJECT NO. POP-1605

FILENAME: POP1605-SP

DRAWN BY: JWR

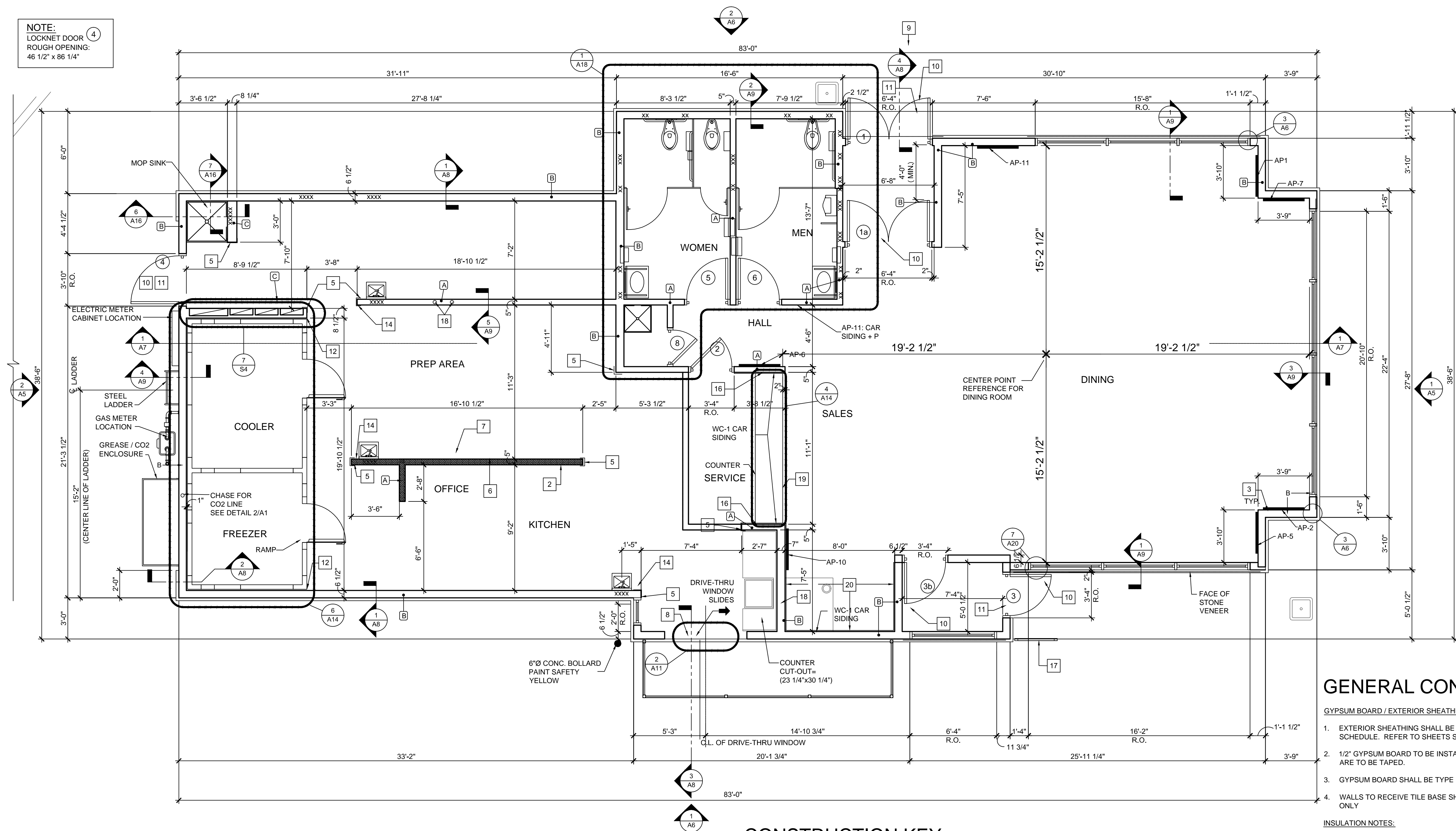
SCALE: 1" = 20'

DATE: 10-24-16

SHEET NO.

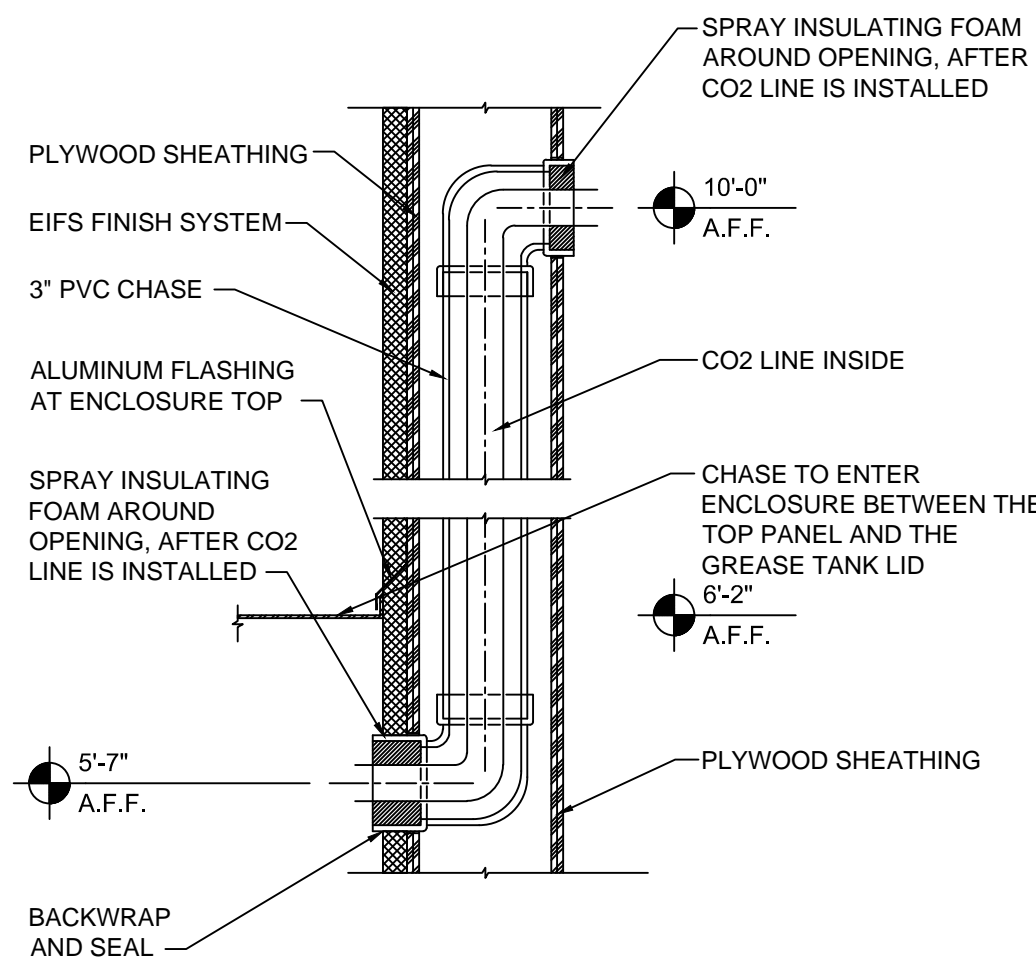
C-3

NOTE: LOCKNET DOOR
ROUGH OPENING:



FLOOR PLAN

1/4"=1'-0"




CO2 CHASE DETAIL

$$1-1/2''=1'-0''$$

FRAMING SYMBOLS

- ☐ A 2X4 FRAMING @ 16" O.C.

① DOOR NUMBER. SEE SHEET A-17 FOR DETAILS



6
A12

DETAIL NUMBER

SHEET NUMBER

PLAN DETAIL

1
A3

DETAIL NUMBER
SHEET NUMBER

SECTION DETAIL -
ARROW
INDICATES
DIRECTION OF
VIEW

XXX DENOTES BLOCKING
AS REQUIRED

CONSTRUCTION KEY NOTES

- 1 DIMENSIONS ARE SHOWN:
1) EXTERIOR WALLS: FROM EXTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.
2) INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O..
- 2 INSTALL 3'-0" W X 8'-0" H 18 GA STAINLESS STEEL PANEL BEHIND OVENS. REFER TO INTERIOR KITCHEN ELEVATIONS AND EQUIPMENT PLAN FOR EXACT LOCATION.
- 3 ALL GYPSUM BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR PAINTING (LEVEL 5 FINISH) OR WALL COVERING AS INDICATED ON INTERIOR ELEVATIONS AND FINISH SCHEDULE. SEE GEN. CONSTR. NOTES FOR DINING AREA
- 4 DIVIDER WALL- FURNISHED WITH SEATING PACKAGE
- 5 GENERAL CONTRACTOR (G.C.) TO PROVIDE 2'X2'XFULL HEIGHT HIGH CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALL. PROVIDE COMPLETE WRAP ON END WALLS- SEE DETAIL 2-A2.
- 6 HOOD WALL TO BE CONSTRUCTED WITH 3-5/8" 16 GAUGE (GA.) METAL STUDS AT 16" o.c. AND 1/2" DURAROCK ON BOTH SIDES OF WALL.
- 7 G.C. TO INSTALL 18 GA. STAINLESS STEEL PANELS ON WALL. REFER TO MECHANICAL HOOD DRAWINGS FOR PANEL SIZES.
- 8 ELECTRIC DRIVE-THRU WINDOW SHOWN. G.C TO PROVIDE JUNCTION BOX UNDERNEATH THE WINDOW. VERIFY REQUIRED ROUGH-IN AND ELECT. REQUIREMENTS W/AMUF. DRAWINGS.
- 9 HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.

- | | |
|----|--|
| 10 | ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED. |
| 11 | PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE SHOWN ON THE LIGHTING PLAN. |
| 12 | PROVIDE STAINLESS STEEL ENCLOSURE AT WALK-IN FREEZER AND COOLER CORNERS. SEE DETAILS SHEET A13. |
| 13 | ALL GLAZING WITHIN A 24" ARC OF DOORS WHOSE BOTTOM IS LESS THAN 60" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET. |
| 14 | PORTABLE FIRE EXTINGUISHER PER NFPA-10 INSTALLED BY OTHERS ON SITE AND SUBJECT TO LOCAL JURISDICTION APPROVAL. |
| 15 | PROVIDE 1/2" PLYWOOD SHEATHING AT (3) PLYWOOD SHELVES AS DIMENSIONED ON ELEVATION 4/A9. |
| 16 | SOLID SURFACE SPLASH GUARD. |
| 17 | GUARDRAIL, SEE DETAIL 3/A2. |
| 18 | SEE P1 SHEET FOR SODA LINE CHASES. |
| 19 | WOOD HEADER ABOVE COUNTER STAINED TO MATCH CR-1 (SERVES AS BOUNDARY FOR CEILING CHANGE BETWEEN KITCHEN AND DINING). |
| 20 | CERAMIC WALL TILE IF REQUIRED BY LOCAL CODE. COORDINATE WITH CORPORATE. |

SPECIFICATIONS

DIVISION 9: FINISHES

SECTION 9A: GYPSUM WALLBOARD
GENERAL PROVISIONS

- SCOPE: FURNISH AND INSTALL GYPSUM WALLBOARD AS A SUBSTRATE FOR OTHER FINISH MATERIALS ON ALL INTERIOR WALLS AND THE INTERIOR PORTIONS OF EXTERIOR WALLS. FURNISH AND INSTALL GYPSUM BOARD SUSPENDED CEILING WITH HANGERS AND SUPPORTS.
1. MATERIALS
1. MATERIAL NAMES ARE BASED ON A NATIONAL GYPSUM GOLD BOND STA-SMOOTH BEVEL EDGE SYSTEM. USE GOLD BOND OR EQUAL SYSTEM BY U.S. GYPSUM.
- WALLS (EXCEPT WHERE NOTED): 1/2" STA-SMOOTH GYPSUM WALLBOARD
- WALLS WHERE NOTED: 1/2" THICK TAPERED EDGE M/R (MOISTURE RESISTANT) GYPSUM WALLBOARD
- DROPPED CEILING WHERE NOTED: 1/2" STA-SMOOTH GYPSUM WALLBOARD
- FIRE RATED WHERE NOTED OR REQUIRED BY CODE 5/8 FIRE SHIELD (GYPSUM WALLBOARD)
2. FASTENERS:
- A. GWB-5/4 1-5/8" LONG ANNULAR RING SHANK NAILS MEETING THE REQUIREMENTS OF ASTM C-380.
- B. 1-1/4" LONG TYPE-W DRYWALL SCREWS TO WOOD STUDS.
- C. 1-1/4" LONG TYPE-S DRYWALL SCREWS TO INTERIOR METAL STUDS.
- D. 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR GYPSUM SHEATHING TO METAL STUDS.
- E. JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED, FEATHER EDGE, CORNER BEADS SHALL BE GALVANIZED STEEL ROLL-FORMED U-SHAPED CHANNELS.
- F. HANGERS AND SUPPORTS: 2X4 WOOD FRAMING, SUBSTITUTION: FOR STEEL TRUSS BUILDINGS 1-1/2" CARRYING CHANNELS, 3/4" FURRING CHANNELS, 8 GAGE HANGER WIRES, 16 GAGE TIE WIRES, AND 1" TYPE S SCREWS.

GENERAL CONSTRUCTION NOTES

GYP SUM BOARD / EXTERIOR SHEATHING NOTES:

1. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO SHEETS S-0.
2. 1/2" GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL JOINTS ARE TO BE TAPED.
3. GYPSUM BOARD SHALL BE TYPE "WMR" IN ALL AREAS TO RECEIVE WALL FRP PANELS.
4. WALLS TO RECEIVE TILE BASE SHALL HAVE 1/2" USG "DUROCK" INSTALLED TO 18" AFF. KITCHEN AND RESTROOM ONLY.

INSULATION NOTES:

1. ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY

KITCHEN WALL NOTES:

1. PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. FROM 1'-6" AFF TO 9'-10" AFF IN ALL KITCHEN WALLS. PROVIDE BLOCKING AS REQ'D FOR ACCESSORIES/SHELVING.
2. PROVIDE 1/2" CEMENT BOARD FROM FLOOR TO 6'-7" AFF IN INTERIOR TOILET ROOMS THAN 1/2" MOISTURE RESISTANT GYP. BD. FROM 6'-7" AFF TO 9'-10" AFF PROVIDE BLOCKING AS REQ'D FOR ACCESSORIES.

DINING AREA NOTES:

1. PLASTIC LAMINATE TO ADHERE TO 1/2" PLYWOOD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF
2. VINYL WALL COVERING ON 1/2" GYPSUM BOARD.

BLOCKING NOTES:

1. "xxxxxxx" INDICATES BLOCKING REQUIRED IN WALL FOR PLUMBING LINES AND RESTROOM ACCESSORIES. BLOCKING SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.
2. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURERS' CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES KITCHEN EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.

FRAMING NOTES:

1. CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL, AND SOFFIT FRAMING. WHERE USED, METAL FRAMMING TO BE 25 GA. UNLESS NOTED OTHERWISE (U.N.O.).
2. REFER TO FRAMING NOTES FOR WALL SECTIONS.
3. ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE OR OF EQUAL GRADE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING.
4. ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.
5. ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O..
6. ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-0" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.

POPEYES®

400 PERIMETER CENTER TERRACE
SUITE 1000
ATLANTA, GA 30346

THESE DRAWINGS ARE THE
PROPERTY OF
ARCHITRAVE GROUP PC
AND SHALL NOT BE USED OR
REPRODUCED WITHOUT THE
EXPRESS WRITTEN PERMISSION
FROM THE OWNER.

rchitrave

rchitrave
GROUP PC
157 Broad Street • Suite 107
Red Bank, New Jersey 07701
Tel: 609/398-2000 Fax: 609/398-2009
E-Mail: info@rchitrave.com

**POPEYES
33318 CAPITAL BOULEVARD
RALEIGH, NORTH CAROLINA**

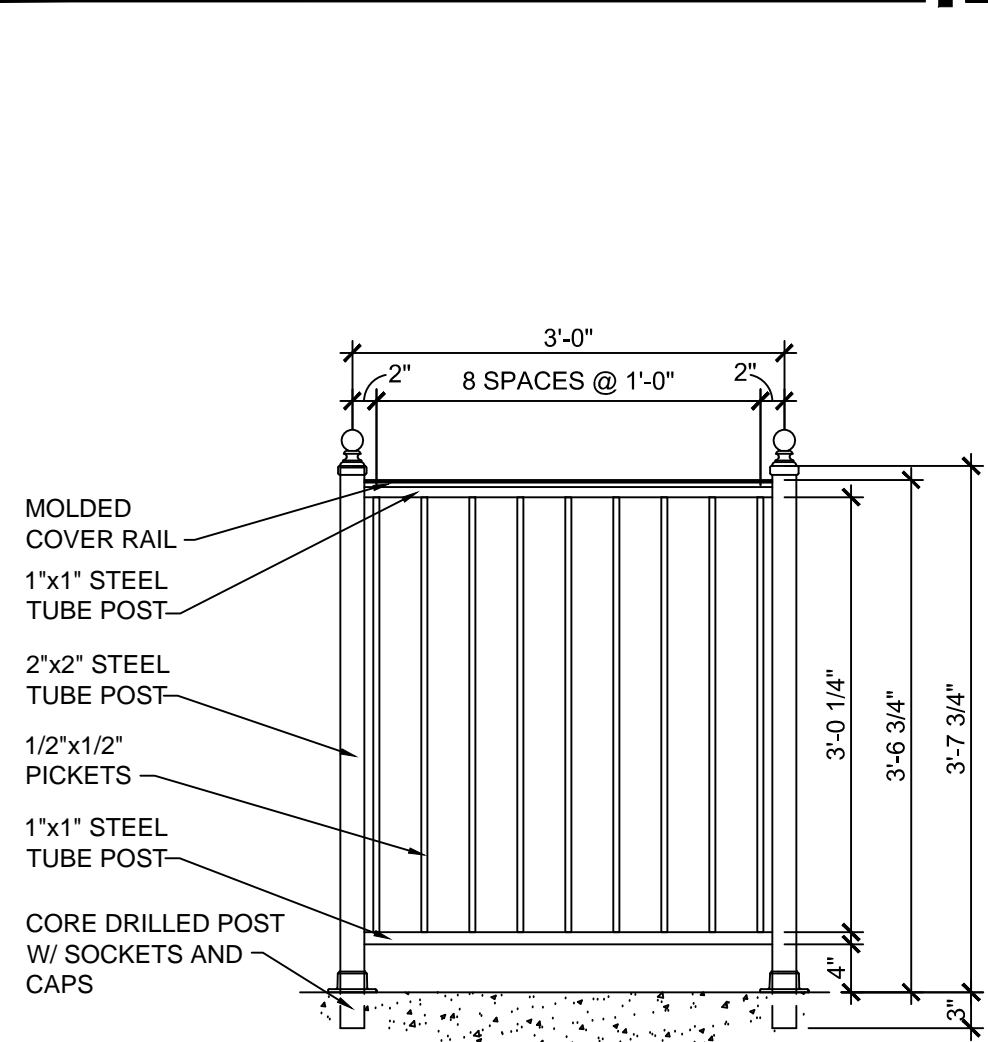
POPEYES

REVISIONS:
1 CITY COMMENTS 4/4/17

FLOOR PLAN

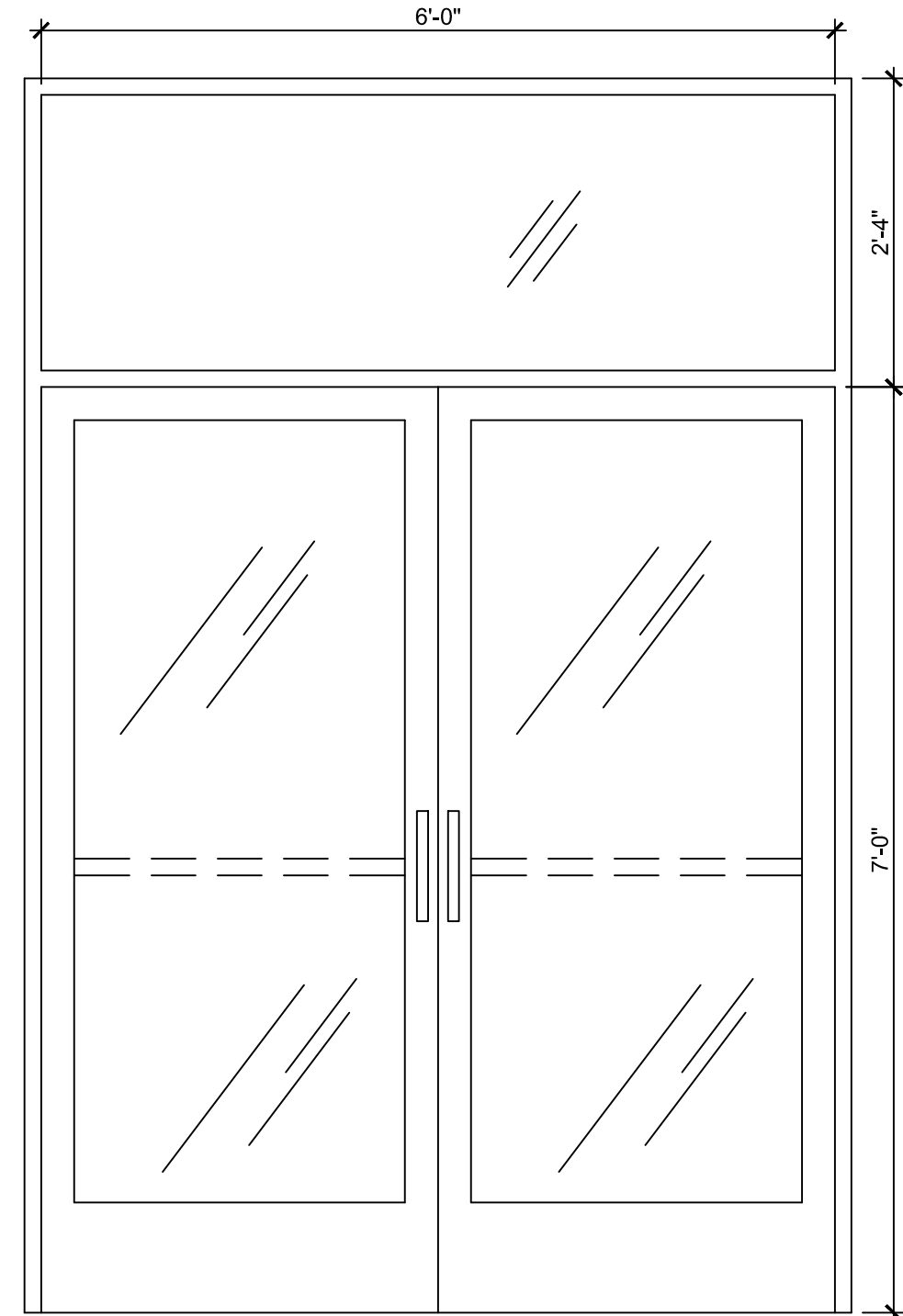
A1

DATE: 1/6/17
PROJECT NO. G16-109
CHECKED: JS



3 GUARD RAIL DETAIL
1/4"=1'-0"

NOTE:
INCLUDE IN METAL PACKAGE
AND INSTALLED BY G.C.



**DOOR
ELEVATION**

4 STOREFRONT DETAIL
1/4"=1'-0"

SPECIFICATIONS

SECTION 8A: ALUMINUM ENTRANCE, STOREFRONT

GENERAL PROVISIONS
SCOPE: FURNISH AND INSTALL THE ALUMINUM ENTRANCE AND STOREFRONT SYSTEMS PER NATIONAL ACCOUNTS AND APPLICABLE DRAWINGS.

MATERIALS

1. ALUMINUM STOREFRONT AND ENTRANCE FRAMES: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
2. ALUMINUM ENTRANCE DOORS: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
3. PANIC HARDWARE: WHEN PANIC HARDWARE IS REQUIRED ON EXTERIOR DOORS.

THE PANIC DEVICE IS ON EXTERIOR ENTRY DOORS WHEN SPECIFIED IN HARDWARE SCHEDULE.

4. DRIVE-THRU SERVICE WINDOW: THE DRIVE-THRU SERVICE WINDOW WILL BE SUPPLIED & INSTALLED BY G.C. VERIFY EXACT TYPE OF WINDOW WITH PLANS. BRONZE FINISH.

WINDOW TO BE:

- A. BASE BID - 'QUICK SERV' M.C.E. WINDOW FLUSH MOUNT.
- B. OPTION (VERIFY WITH OWNER) - READY ACCESS

5. MISCELLANEOUS FLASHING/TRIM: ALUMINUM HEAD, SILL, COLUMN AND WALL TRIM. SEE EXTERIOR ELEVATIONS FOR FINISH.

PERFORMANCE

1. INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. PLACE IN CORRECT LOCATION AS SHOWN IN THE DETAILS. LEVEL, SQUARE, AND PLUMB AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. MAINTAIN SPACE IN HEAD POCKET FOR 1/4" HEAD DEFLECTION. INSURE FRAMING PROFILES MEET INSTALLATION REQUIREMENTS OF GLAZING UNITS TO MAINTAIN WARRANTY. SEE SECTION 8-D: GLAZING.

SECTION 8D: GLAZING

GENERAL PROVISIONS

1. SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.
2. QUALITY CONTROL: ALL GLASS BROKEN DURING INSTALLATION OR DURING CONSTRUCTION PRIOR TO FINAL DELIVERY OF THE BUILDING TO THE OWNER SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER. GLASS SHOULD BE DELIVERED WITH LABELS PROMINENTLY DISPLAYED AND THEY SHALL BE LEFT IN PLACE UNTIL THE OWNER'S REPRESENTATIVE INSPECTS IT.

MATERIALS

1. STOREFRONT GLAZING - REFER TO CONSTRUCTION DRAWINGS AND NOTES.

PERFORMANCE

1. INSTALLATION: INSTALL GLAZING WITH MANUFACTURER'S INSTRUCTIONS TO PROVIDE COMPLIANCE WITH LOCAL CODE REQUIREMENTS INCLUDING WIND RESISTANCE, 25 PSF MIN., SNOW LOAD, 20 PSF MIN. GLAZING PANELS SHALL BE INSTALLED.

ULTRA VIOLET DEGRADATION LEVELS ARE TO MEET MANUFACTURER'S REQUIREMENTS TO VALIDATE MATERIALS REPLACEMENT WARRANTY.

2. ALLOW FOR 1/4" MINIMUM HEAD DEFLECTION DUE TO LIVE LOAD.

3. GUARANTEES AND WARRANTIES: AT THE COMPLETION OF THE GLAZING, PROVE THE INSTALLATION WATERTIGHT BY SPRAYING ALL JOINTS WITH A GARDEN HOSE WITH NOZZLE SET FOR MAXIMUM PRESSURE. PROVIDE ADDITIONAL CAULKING OR SEALANT, OR RESET GLASS AS NECESSARY TO EFFECT A WATERTIGHT JOB.

EXTERIOR FINISH NOTES

E.I.F.S. WALL TEXTURE FINISH

Manuf.	Texture
STO	STO ESSENCE SWIRL
DRYVIT	QUARTZ PUTZ

STO COLORS

NA10-0016 - DELIGHTFUL GOLDEN
NA01-0061 - EXOTIC RED
NA10-0017 - MOCHA BROWN

FINISH NOTES

THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:

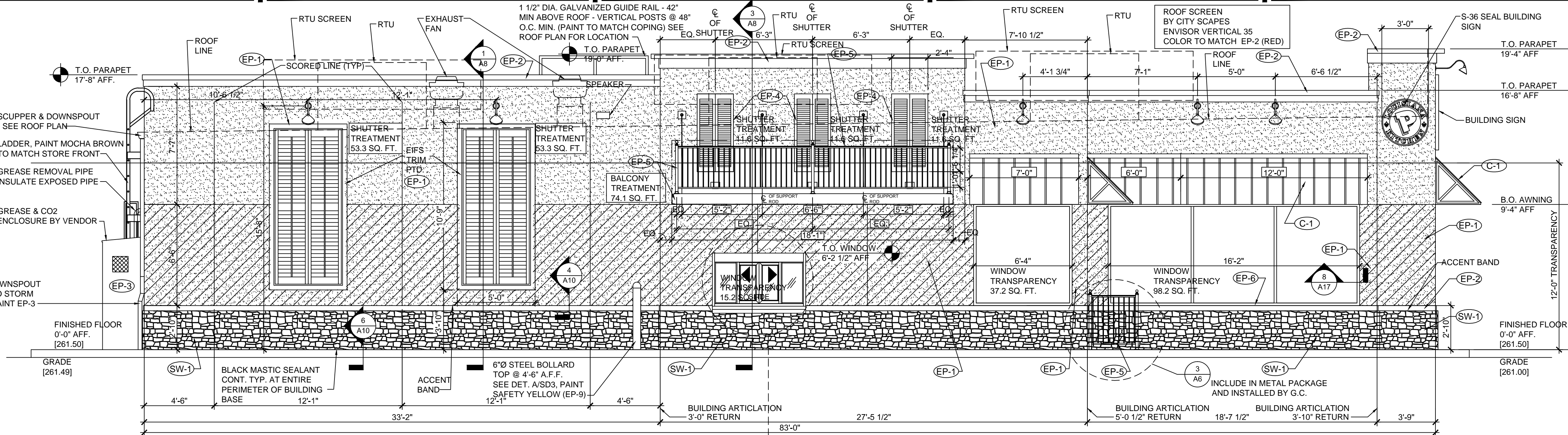
* STANDING SEAM ROOF
* D/T WINDOW CANOPY RAILING
* CLEARANCE BAR
* MENU CANOPY
* GUARD RAIL
* AWNINGS
* SHUTTERS

THE FOLLOWING COMPONENTS TO BE MANUFACTURED AND INSTALLED BY THE GENERAL CONTRACTOR

* LADDER
* DUMPSTER GATES

DRYVIT COLORS

POPE051020 - DELIGHTFUL GOLDEN
POPE021028S - EXOTIC RED
POPE031020S - MOCHA BROWN



**1 LEFT SIDE ELEVATION
(FACING CAPITAL BOULEVARD)**
1/4"=1'-0"

ROOF SCREEN
BY CITY SCAPES
ENVISOR VERTICAL 35
COLOR TO MATCH EP-2 (RED)

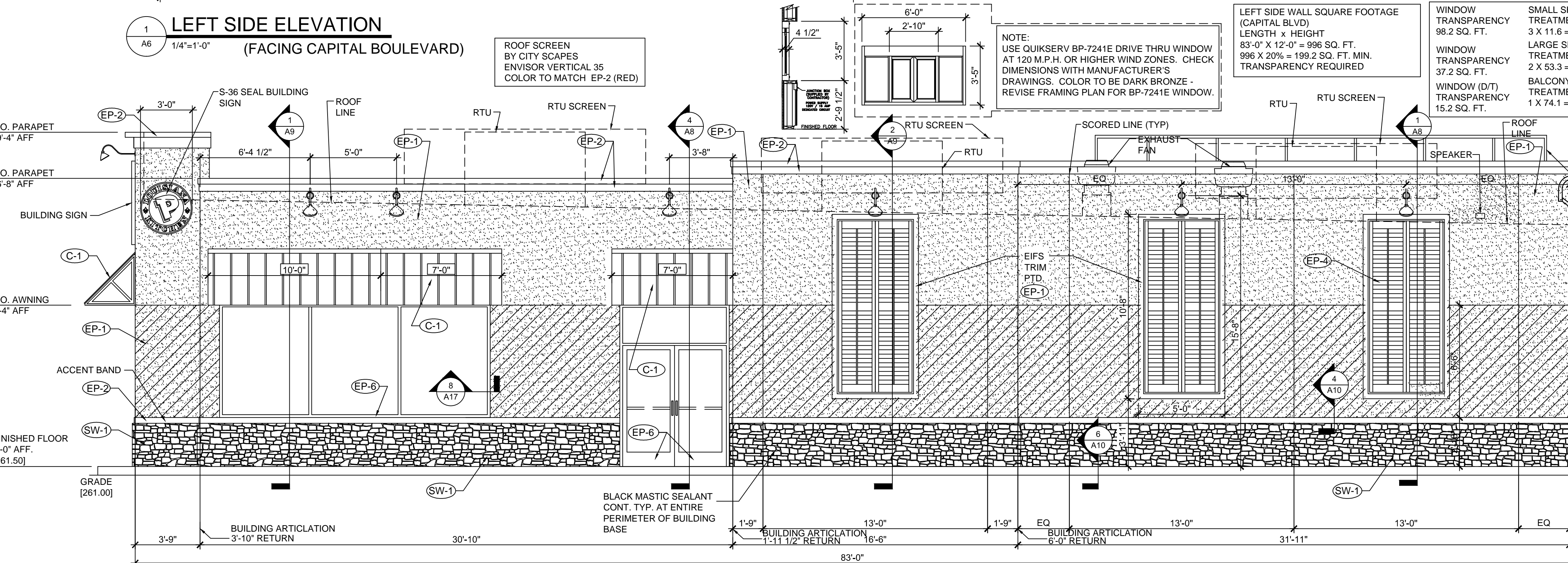
NOTE:
USE QUICKSERV BP-7241E DRIVE THRU WINDOW
AT 120 M.P.H. OR HIGHER WIND ZONES. CHECK
DIMENSIONS WITH MANUFACTURER'S
DRAWINGS. COLOR TO BE DARK BRONZE -
REVISE FRAMING PLAN FOR BP-7241E WINDOW.

LEFT SIDE WALL SQUARE FOOTAGE
(CAPITAL BLVD)
LENGTH x HEIGHT
83'-0" X 12'-0" = 996 SQ. FT.
996 X 20% = 199.2 SQ. FT. MIN.
TRANSPARENCY REQUIRED

WINDOW
TRANSPARENCY
98.2 SQ. FT.

SMALL SHUTTER
TREATMENT
3 X 11.6 = 34.8 SQ. FT.
LARGE SHUTTER
TREATMENT
2 X 53.3 = 106.6 SQ. FT.
BALCONY/RAILING
TREATMENT
1 X 74.1 = 74.1 SQ. FT.

TOTAL WINDOW
TRANSPARENCY
150.6 SQ. FT.
TOTAL SPECIAL
TREATMENT
(SHUTTERS & BALCONY)
215.5 SQ. FT.
TOTAL WINDOW
TRANSPARENCY/SPECIAL
TREATMENT
366.1 SQ. FT.



2 RIGHT SIDE ELEVATION
1/4"=1'-0"

POPEYES LOUISIANA KITCHEN

NEW CONSTRUCTION AND REIMAGING

EXTERIOR FINISH SCHEDULE

UPDATE: 11/24/2014

Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	PAINT OR EIFS FORMULA	#2158-30	DELIGHTFUL GOLDEN	185 Low Lustre
EP-2	CROWN / WALL SURFACE ACCENT / WAINSCOT ACCENT TRIM			#2086-10	EXOTIC RED	185 Low Lustre
EP-3	WAINSCOT BELOW ACCENT TRIM @ REAR BLDG		EIFS / METAL / PAINT	#2107-20	MOCHA BROWN	185 Low Lustre
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	14 1/2"x60" VINYL SHUTTERS (Balcony) 25 1/2"x119" VINYL SHUTTERS (Building)	L2 - VINYL	UNFINISHED	030 - PAINTABLE
		BENJAMIN MOORE	PAINT	#2040-10	RAINFORREST FOLIAGE	170 Semi Gloss
EP-5	D/T THRU WINDOW CANOPY AND RAILINGS	RAILING VENDOR / TIGER DRYLAC	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
EP-6	STORE FRONT GLAZING	RAILING VENDOR / BENJAMIN MOORE	METAL / PAINT	#2040-10	RAINFORREST FOLIAGE	P-29 DTM Semi Gloss
EP-6	STORE FRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#Y65N	DARK BRONZE	21-28 DAYS
EP-7	DUMPSTER WALLS / GATES	BENJAMIN MOORE	METAL / PAINT	READY MIX	BRONZSTONE	P-29 DTM Semi Gloss
EP-8	BOLLARDS		METAL / ASPHALT / PAINT	#2107-20	MOCHA BROWN	185 Low Lustre
EP-9	ANTI- GRAFFITI	BENJAMIN MOORE	PAINT	SAFETY & ZONE ACRYLIC MARKING	RM SAFETY YELLOW	P58-10
SW-1	STONE WAINSCOT	BORAL STONE	VERSETTA: SIMULATED STONE VENEER	LEDGESTONE	PLUMB CREEK	NON-OVERLAPPING
SG-1	ABOVE WAINSCOT	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-85
SC-1	ABOVE WAINSCOT	BORAL STONE	VERSETTA: SIMULATED STONE CAP	LEDGE STONE	PLUMB CREEK	
G-1	AWNING GRATE (OPT.)	AWNING SUPPLIER	METAL / POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
C-1	STANDING SEAM CANOPY	COPPER SALES, INC.	UNA-CLAD	UC-4 ALUMINUM	REGAL RED	12" OC / GAUGE PER LOCAL CODE REQUIREMENTS
B-1	BRICK	BELDEN	STANDARD	461-463	BUFF	SMOOTH

ADMINISTRATIVE ALTERNATE FINDINGS

THE PLANNING AND DEVELOPMENT OFFICER MAY IN ACCORDANCE WITH SEC. 10.2.17 MAY REDUCE THE REQUIRED TRANSPARENCY SUBJECT TO THE FOLLOWING FINDINGS.

1. THE APPROVED ALTERNATE MEETS THE INTENT OF THE TRANSPARENCY REQUIREMENTS.
2. THE APPROVED ALTERNATE CONFORMS WITH THE COMPREHENSIVE PLAN AND ADOPTED CITY PLANS, AND
3. THE STREET FACING BUILDING FACADE UTILIZES OTHER ARCHITECTURAL ELEMENTS TO CREATE VISUAL INTEREST TO OFFSET THE REDUCTION IN TRANSPARENCY.

SUMMARY
SEEKING ADMINISTRATIVE ALTERNATE FOR THE 20% TRANSPARENCY ALONG THE LEFT SIDE ELEVATION FACING CAPITAL BLVD. WITH THE ADDITION (2) TWO LARGE SHUTTERS, (3) THREE SMALL SHUTTERS AND (1) BALCONY/ RAILING

POPEYES

400 PERIMETER CENTER TERRACE
SUITE 1000
ATLANTA, GA 30346
(404) 545-4400

THESE DRAWINGS ARE THE
PROPERTY OF
ARCHITRAVE GROUP PC
AND SHALL NOT BE USED OR
REPRODUCED WITHOUT THE
EXPRESS WRITTEN PERMISSION
FROM THE OWNER.

Architrave
GROUP PC

157 Broad Street • Suite 107
Princeton, New Jersey 07701
P: 908.940.0007 Fax: 908.940.0009
www.architrave.com
ARCHITRAVE GROUP PC
A Division of
The Popes Company
10000 W. 11th Avenue
Suite 1000
Denver, CO 80202
P: 303.733.1100
F: 303.733.1101
www.popes.com

POPEYES
3318 CAPITAL BOULEVARD
RALEIGH, NORTH CAROLINA
LOUISIANA KITCHEN LK+PLUS DESIGN STANDARDS
60 SEATS / DUAL-LINE PRODUCTION



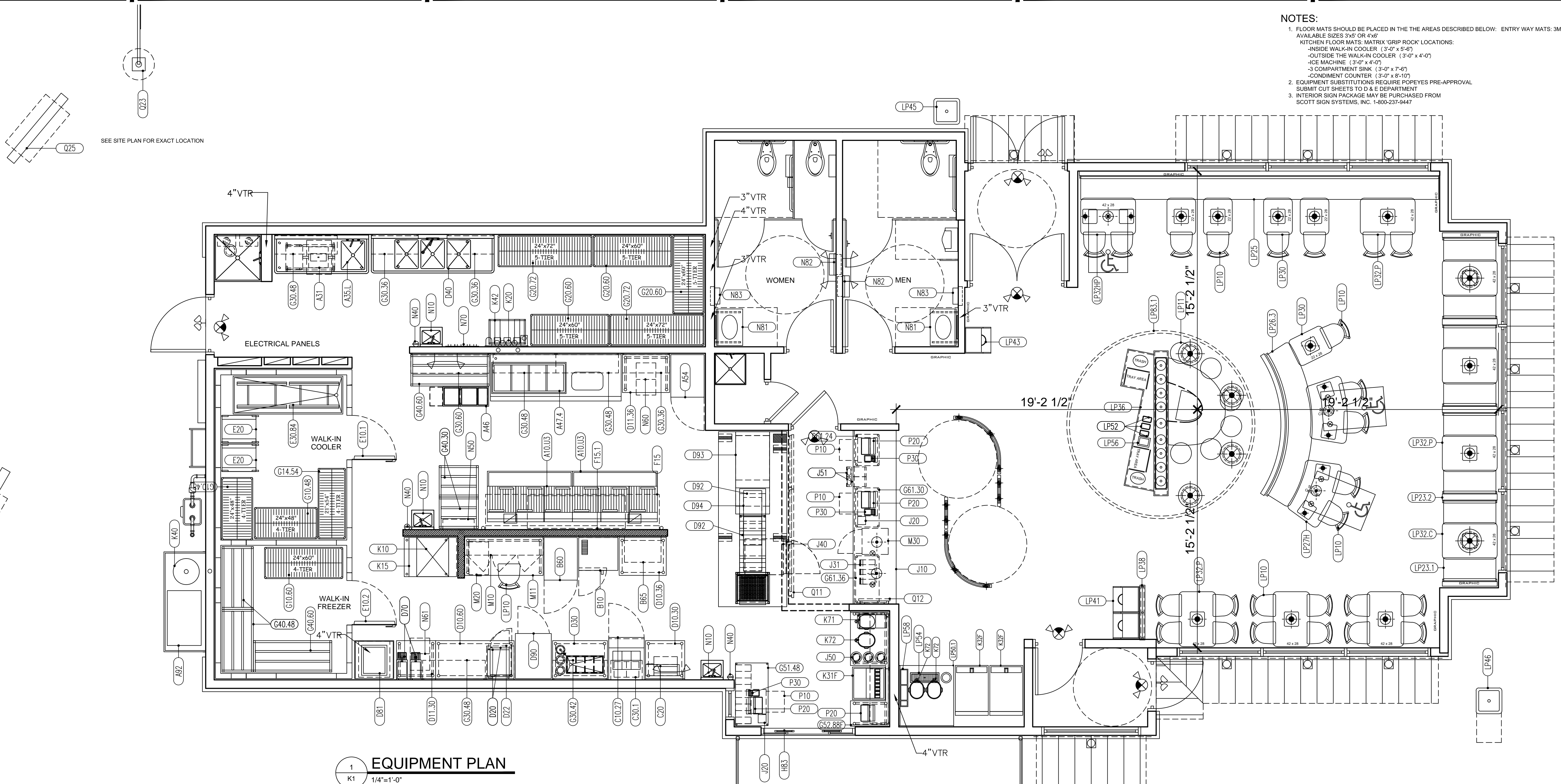
POPEYES

REVISIONS:
1 CITY COMMENTS 4/4/17

LEFT & RIGHT
EXTERIOR ELEVATIONS

A6

DATE: 1/6/17
PROJECT NO. G16-109
CHECKED: JS



1 EQUIPMENT PLAN
K1 1/4"=1'-0"

SEATING		
SEATS:	60	
GROUPS:	17	
RATIO:	3.5	
SQUARE FOOTAGE		
KITCHEN (NET):	973	
WALK-IN (NET):	157	
DINING/RESTROOM (NET):	1,434	
TOTAL (NET) :	2,564	
TOTAL (GROSS) :	2,895	

- NOTES**
- SYMBOL**
- TEXT EQUIPMENT No.
- IT IS THE RESPONSIBILITY OF THE G.C. TO COORDINATE DELIVERY, UNCRATING, POSITIONING, FINAL HOOK-UP AND REMOVAL OF TRASH OF ALL OWNER SUPPLIED KITCHEN EQUIPMENT.
 - ALL KITCHEN EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 - DECOR ITEMS SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.

SPECIFICATIONS

- DIVISION 11: EQUIPMENT**
GENERAL PROVISIONS
- SCOPE: COORDINATE WITH THE INSTALLATION OF ALL EQUIPMENT. ITEMS SHOWN ON PLANS AND SCHEDULED IN EQUIPMENT SCHEDULE. (EXCEPT AS NOTED AS INSTALLED BY KITCHEN CONTRACTOR) WHICH ARE FURNISHED BY THE OWNER OR UNDER SEPARATE CONTRACT. EQUIPMENT SCHEDULE LISTS TRADES RESPONSIBLE FOR FURNISHING, INSTALLING AND FINAL CONNECTION.
 - SUBMISSIONS: PROVIDE THE OWNER, AT THE COMPLETION OF THIS CONTRACT, WITH AN "OWNER'S MANUAL" SO LABELED. THE MANUAL SHALL CONSIST OF A THREE-RING LOOSE-LEAF BINDER CONTAINING ALL PRINTED MATTER SUCH AS: GUARANTEE CARDS, CLEANING INSTRUCTIONS, NOTICES TO OWNER, OPERATING MANUALS, SERVICE AGENTS AND MAINTENANCE INSTRUCTIONS THAT MAY BE CONTAINED IN THE SHIPPING CARTON OF EQUIPMENT AND SPECIALTIES.
 - DELIVERY AND STORAGE: RECEIVE, UNLOAD, AND SAFEGUARD THE EQUIPMENT. COORDINATE SHIPPING TIME WITH OWNER.
 - PROTECTION AND CLEANING: SURFACES SHALL BE CLEANED BEFORE FINAL INSPECTION.
- MATERIALS**
- SEE EQUIPMENT SCHEDULE
- PERFORMANCE**
- INSTALL EQUIPMENT ACCORDING TO NFPA 96 AND MANUFACTURER'S INSTRUCTIONS. PROVIDE FACTORY AUTHORIZED START & ADJUSTMENT.
- DIVISION 12: FURNISHINGS**
GENERAL PROVISIONS
- SCOPE: COORDINATE INSTALLATION OF MURALS, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS, AND ACCESSORIES WHICH ARE FURNISHED UNDER SEPARATE CONTRACT TO THE OWNER. IF REQUESTED THROUGH THE CONTRACT, INSTALL ARTWORK, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS AND/OR ACCESSORIES.
 - NOTES: DETAILS AND MATERIALS SHOWN ON THE APPROVED DRAWINGS CONFLICTING WITH THE STANDARD PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF THE INSTALLATION. VERIFICATION OF ADA COMPLIANCE WILL BE NECESSARY.
 - DELIVERY AND STORAGE: RECEIVE AND SAFEGUARD OWNER SUPPLIED ITEMS ON THE JOB SITE IF REQUESTED.
- PERFORMANCE**
- INSTALLATION: PREPARE SURFACES TO RECEIVE THESE MATERIALS AND COOPERATE WITH THE INSTALLATION OF DECOR MATERIALS AS SHOWN ON THE DECOR DRAWINGS.

INTERIOR SIGN PACKAGE				
AREA	SIGN NAME	QTY	MOUNTING LOCATION	COMMENTS
FRONT OF HOUSE	HOURS OF OPERATION	2	CUSTOMER ENTRANCE DOORS, 48" AFF.	MOUNT ON WINDOW NEXT TO DOOR, IF POSSIBLE
	DOOR TRAFFIC FLOW SIGNS	2	CUSTOMER ENTRANCE DOORS, 48" AFF.	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS
	IN	2	CUSTOMER ENTRANCE DOORS, 48" AFF.	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS
	OUT	2	CUSTOMER ENTRANCE DOORS, 48" AFF.	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS
	LOBBY FLOW SIGN	2	SITS ON TOP OF SERVICE COUNTER	3 SIDED SIGN, "ORDER HERE", "PAY HERE", "NEXT REGISTER"
	QUEUING LINE FLOW SIGN	1	TOP OF QUEUING LINE POLE	2 SIDED SIGN, "ENTER HERE", "PLEASE COME AHEAD"
	RESTROOM SIGNS	1	LATCH-SIDE WALL, MTD. C. 80" A.F.F.	HANDICAPPED
	"HANDICAP WOMEN"	1	EXTERIOR OF WOMEN'S RESTROOM DOOR, 60" AFF.	MOUNT TO CENTER LINE OF SIGN
	"HANDICAP MEN"	1	EXTERIOR OF MEN'S RESTROOM DOOR, 60" AFF.	MOUNT TO CENTER LINE OF SIGN
	"RESTROOMS"	1	VISIBLE TO CUSTOMER'S PLANNING AREA, 60" AFF.	MOUNT TO CENTER LINE OF SIGN
	"EMPLOYEES MUST WASH HANDS"	2	INTERIOR OF BOTH RESTROOMS DOOR, 60" AFF.	MOUNT TO CENTER LINE OF SIGN
	"NO SMOKING"	5	DINING ROOM	
	"EMPLOYEES ONLY"	1	ENTRANCE BETWEEN KITCHEN AND DINING ROOM	
	TEA URN SIGNS	1	HANGS ON DISPENSER	2 SIDED SIGN
	"UNSWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN
BACK OF HOUSE	"SWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN
	"WATER"	1	HANGS ON DISPENSER	2 SIDED SIGN
	BN DECALS	1	PLACE ON FLOUR BIN	STICKER APPLICATION
	"FLOUR"	1	PLACE ON FLOUR BIN	STICKER APPLICATION
	"RICE"	1	PLACE ON RICE BIN	STICKER APPLICATION
	"FILTER"	1	PLACE ON FILTER POWDER BIN	STICKER APPLICATION
	3 COMPARTMENT SINK DECALS	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"WASH"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"RINSE"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"FILTER"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"HOT LUBE CAUTION"	4	MICROWAVE WINDOW, OVER PRODUCT DISPLAY AREAS	STICKER APPLICATION
	"MUST BE 18..."	1	FRYER, FILTER, MARINATOR, (IF APPLICABLE)	
	FRYER LABELS (1, 2, 3, 4, 5, 6)	1	PLACE ON APPROPRIATE FRYER	STICKER APPLICATION
	"STOP ALL VENDORS MUST..."	1	EXTERIOR OF BACK DOOR, 60" AFF.	
	"WARNING ONLY MANAGERS..."	1	EXTERIOR OF BACK DOOR, 48" AFF.	
SECURITY SIGNS	"MANAGERS, ACCESS TO SAFE"	1	ON OR OVER AREA TO STORE CHEMICALS	
	"CHEMICAL STORAGE ONLY"	1	ON OR OVER AREA TO STORE CHEMICALS	
	HANDICAP PARKING SIGN	2	DESIGNATED PARKING SPOT (S) 84" TO BOT. OF SIGN	

- NOTES:**
- FLOOR MATS SHOULD BE PLACED IN THE THE AREAS DESCRIBED BELOW: ENTRY WAY MATS: 3M NOMAD, AVAILABLE SIZES 3'6" OR 4'6"
KITCHEN FLOOR MATS: MATRIX 'GRIP ROCK' LOCATIONS:
-INSIDE WALK-IN COOLER (3'-0" x 5'-0")
-OUTSIDE THE WALK-IN COOLER (3'-0" x 4'-0")
-ICE MACHINE (3'-0" x 4'-0")
-3 COMPARTMENT SINK (3'-0" x 7'-0")
-CONDIMENT COUNTER (3'-0" x 8'-0")
 - EQUIPMENT SUBSTITUTIONS REQUIRE POPEYES PRE-APPROVAL. SUBMIT CUT SHEETS TO D & E DEPARTMENT.
 - INTERIOR SIGN PACKAGE MAY BE PURCHASED FROM SCOTT SIGN SYSTEMS, INC. 1-800-237-9447

POPEYES
400 PERIMETER CENTER TERRACE
SUITE 1000
ATLANTA, GA 30346
404-459-4400

THESE DRAWINGS ARE THE PROPERTY OF ARCHITRAVE GROUP PC AND SHALL NOT BE USED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE OWNER.

Architrave Group PC
157 Broad Street • Suite 107
Jersey City, NJ 07310
Tel: 201-261-0007 Fax: 201-261-0009
www.architrave.com
Architrave Group PC is an Equal Opportunity Employer
Architrave Group PC is a Minority Business Enterprise
Architrave Group PC is a Woman Business Enterprise
Architrave Group PC is a Veteran Business Enterprise
Architrave Group PC is a Small Business Enterprise
Architrave Group PC is a Minority Business Enterprise
Architrave Group PC is a Woman Business Enterprise
Architrave Group PC is a Veteran Business Enterprise
Architrave Group PC is a Small Business Enterprise

POPEYES
3318 CAPITAL BOULEVARD
RALEIGH, NORTH CAROLINA
LOUISIANA KITCHEN LK+PLUS DESIGN STANDARDS
60 SEATS / DUAL-LINE PRODUCTION

LOUISIANA KITCHEN

POPEYES

REVISIONS:
1 CITY COMMENTS 4/4/17

EQUIPMENT PLAN

K1

DATE: 1/6/17
PROJECT NO. G16-109
CHECKED: JS



Popeyes - Gaffney, SC